



Response to New Provincial Housing Legislation Bill 44: Small-Scale Multi-Unit Housing – Terms and Next Steps for In-Stream Applications

No.: PLANNING-07
Date: 2024-07-10

Purpose

This bulletin summarizes the provisions for in-stream Building Permit, Subdivision and Rezoning applications for properties subject to Bill 44 (Housing Statutes (Residential Development) Amendment Act, 2023).

Background

Bill 44 (*Housing Statutes (Residential Development) Amendment Act, 2023*) requires local governments to amend zoning bylaws in affected areas to permit small-scale multi-unit housing (SSMUH) as prescribed by the Province, which includes the following:

- adopt zoning bylaw amendments to permit up to three, four or six units in affected areas through pre-zoning; and
- adopt bylaw amendments to remove residential parking minimums for development on sites where Bill 44 permits up to six units (e.g., areas within 400 m of a frequent transit service bus stop that provides bus service every 15 minutes during the day).

On June 24, 2024, Council adopted zoning bylaw amendments (*Richmond Zoning Bylaw 8500, Amendment Bylaw 10573*) to pre-zone affected properties in order to comply with the Provincial requirements and allow SSMUH. The amended bylaws preserve the ability to construct a single-family dwelling with or without a secondary suite. For more information, please see the [June 24, 2024 Council Meeting Agenda](#) for the staff report regarding the adopted zoning bylaw amendments.

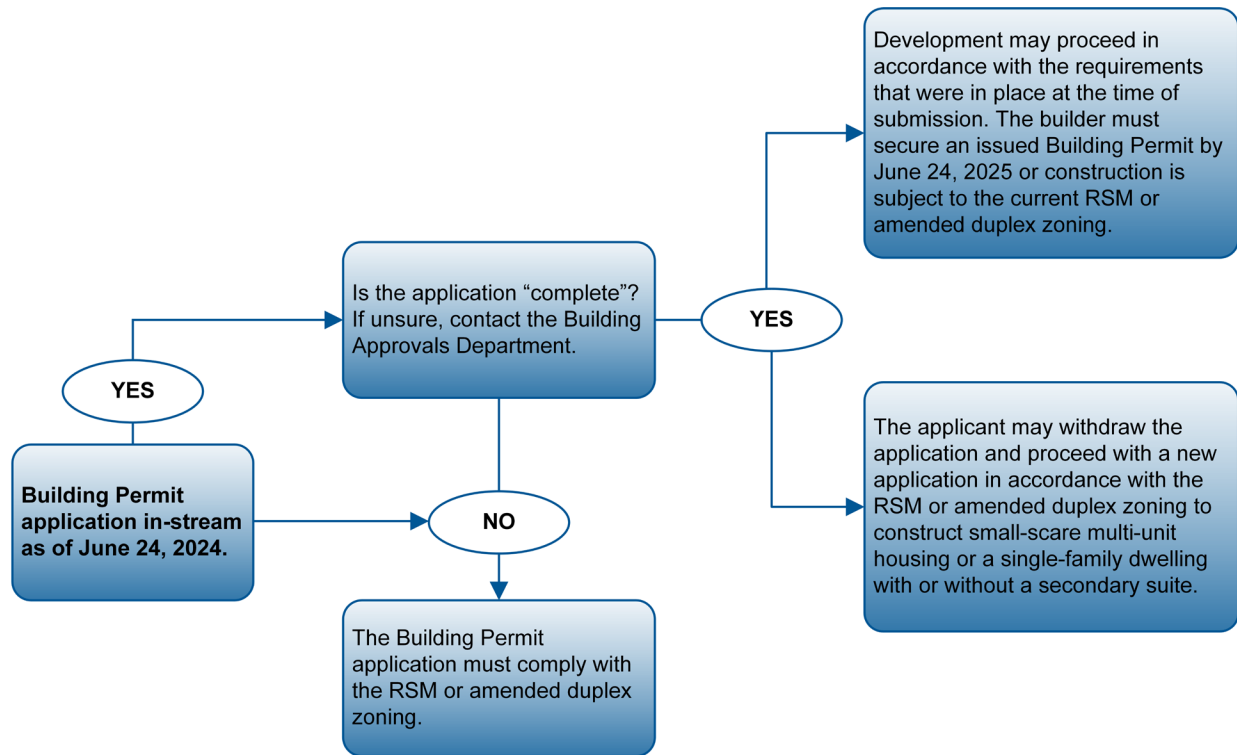
Bill 44 does not prescribe a process or provide exemptions for in-stream development applications, however a process has been developed to enable most in-stream applications to continue to advance. This bulletin provides the terms and next steps for in-stream building permit, subdivision and rezoning applications in the City of Richmond.

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In-stream Building Permit Applications

There is no provision to accept a Building Permit application that is inconsistent with current zoning. Therefore, an application for a Building Permit must be consistent with the new zoning district, the Small-Scale Multi-Unit Housing (RSM zone) or amended duplex zoning.

A “complete” Building Permit application that was submitted prior to **June 24, 2024** may proceed under the terms that were in place at the time of submission conditional to the owner securing an issued building permit from the City by **June 24, 2025**.



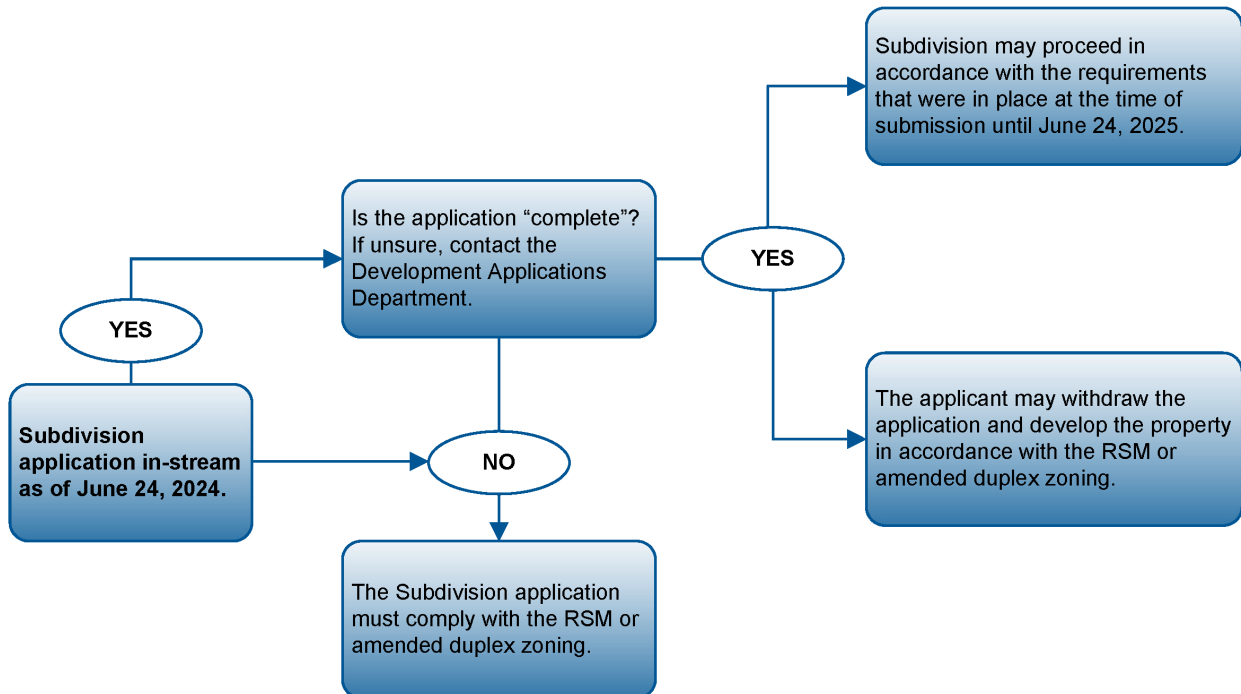
For further questions regarding your Building Permit application, please contact the Building Approvals Department at Building@richmond.ca.

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In-stream Subdivision Applications

Where a complete Subdivision application in satisfactory form to the City was received prior to June 24, 2024, an in-stream Subdivision application may proceed under the terms that were in place prior to adoption of the amended zoning bylaws to permit small-scale multi-unit housing (SSMUH) provided the subdivision is registered by **June 24, 2025**. Alternatively, the applicant may withdraw or amend the application and develop in accordance with amended zoning. A complete application is:

- a) application form has been completed (submitted prior to **June 24, 2024**);
- b) application fees have been paid in full (submitted prior to **June 24, 2024**); and
- c) all supporting documentation necessary to make the application complete has been submitted to the City (submitted prior to **June 24, 2024**).

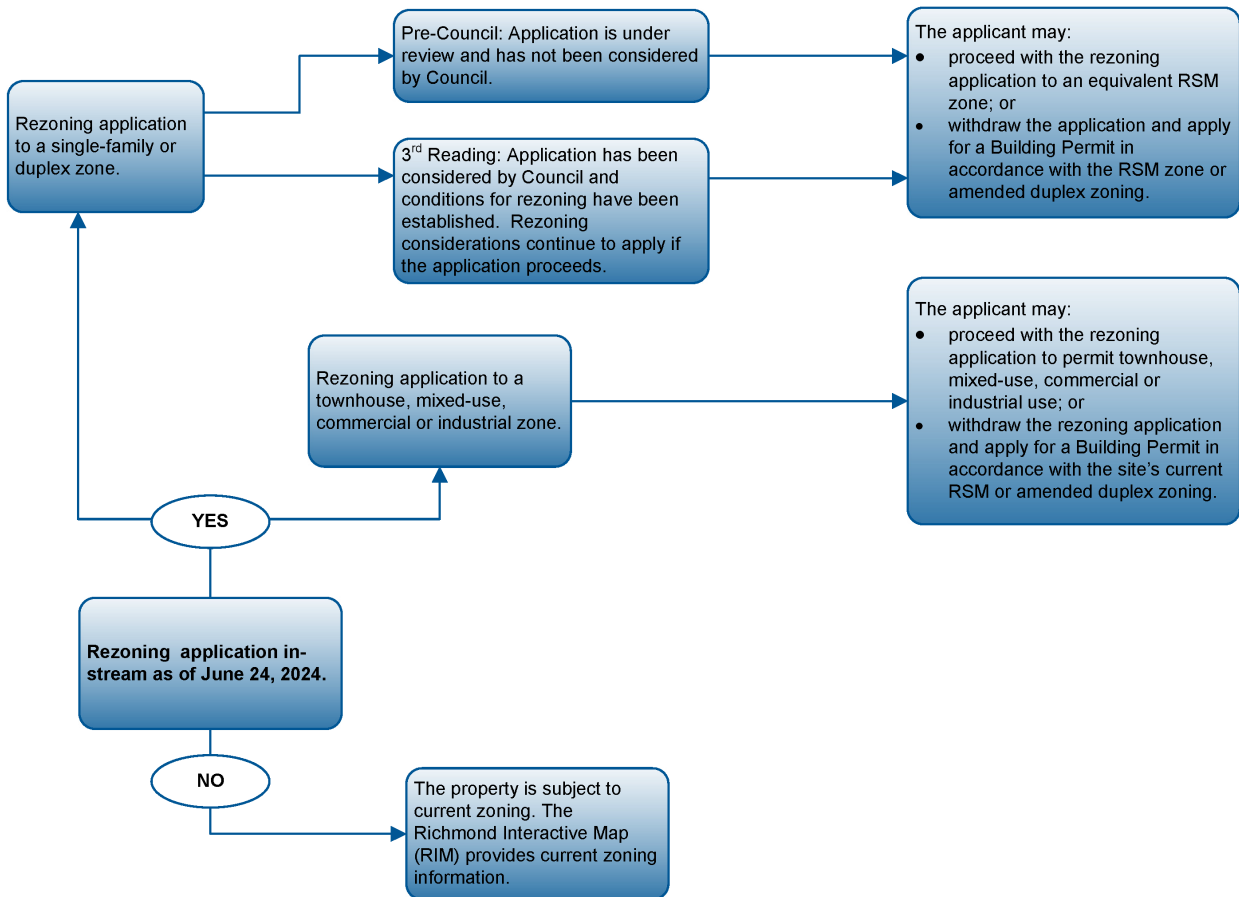


For further questions regarding your subdivision application, please contact the Development Applications Department at devapps@richmond.ca.

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In-stream Rezoning Applications

To comply with the Provincial legislation, amendments to the Zoning Bylaw were adopted on June 24, 2024 to permit small-scale multi-unit housing (SSMUH) in affected areas. Affected properties with an in-stream rezoning application may proceed with the in-stream application to an equivalent zone or withdraw the application to realize development in accordance with the provisions of the updated Zoning Bylaw under SSMUH. For an application that has secured 3rd reading, bylaw adoption remains conditional to the terms stipulated in the rezoning considerations.



For further questions regarding your rezoning application, please contact the Development Applications Department at devapps@richmond.ca.