



Zoning Bylaw 8500

No.: PERMITS-46

Date: 2010-09-14

Revised: 2019-05-17

Purpose:

To inform builders/owners and designers of the Zoning Bylaw 8500, that contains the following definitions.

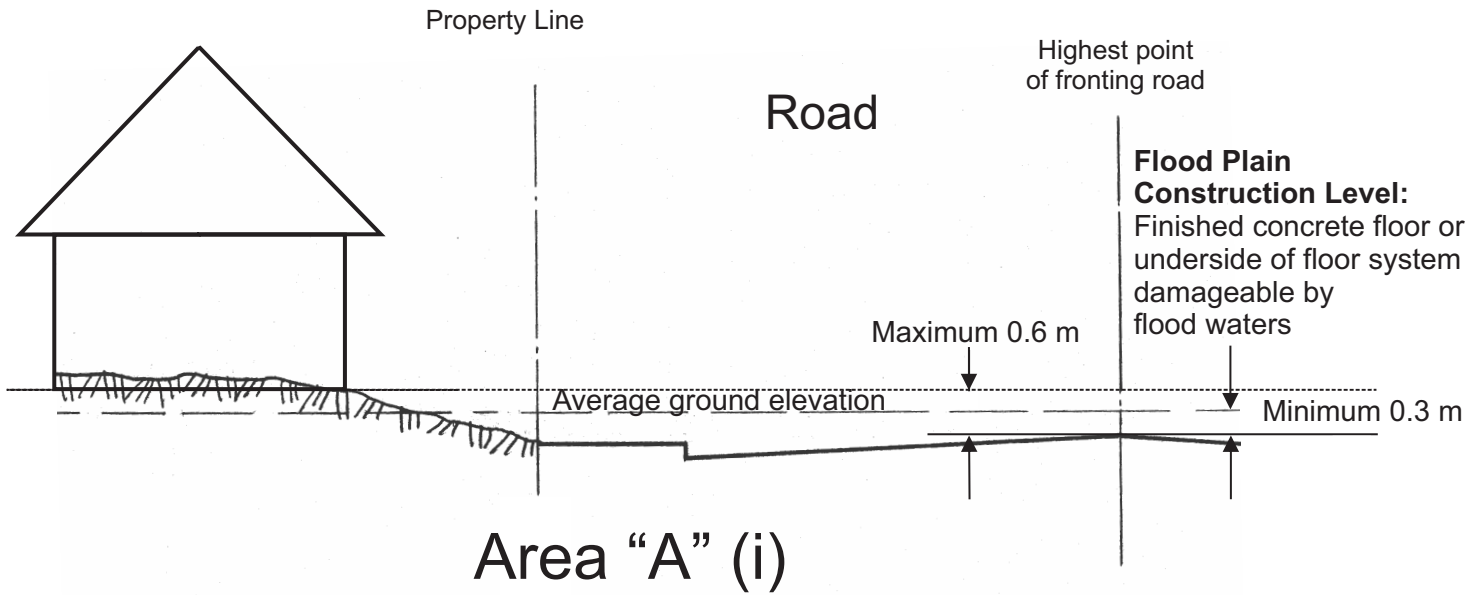
Background:

- Some previous definitions have left these terms open to various interpretations, resulting in building designs not anticipated, and in some instances greatly impacting adjacent properties.
- The bylaw includes some of the following:
 - “**Crawl Space**” means an interior **building** space at or below **finished site grade**, between the underside of the floor system next above and the top of the floor slab on the ground surface below, having a vertical clear height less than 1.2 m (4.0 ft.).
 - “**Flood Plain Construction Level**” means the minimum elevation level identified in *Flood Plain Designation and Protection Bylaw No 8204*, as amended.
 - “**Finished Site Grade**” means:
 - i) in Area ‘A’ indicated on Schedule ‘A’ to Division 100 attached to and forming part of this Bylaw the average ground elevation identified on a **lot** grading plan approved by the City. The average ground elevation must not exceed 0.6 m (2 ft.) above the highest elevation of the crown of any **public road** abutting the **lot**;
 - ii) in Area ‘B’ indicated on Schedule ‘A’ to Division 100 attached to and forming part of this Bylaw the average ground elevation identified on a **lot** grading plan approved by the City. The average ground elevation must not exceed:
 - a) 0.6 m (2 ft.) above the highest elevation of the crown of any **public road** abutting the **lot**; or
 - b) where the average ground elevation calculated pursuant to ii) a) above is more than 1.2 m (4 ft.) below the required **Flood Plain Construction Level** the average ground elevation may be increased to 1.2 m (4 ft.) below the required **Flood Plain Construction Level**.
- (see Diagram A)
- “**Building Height**” means the vertical distance between **finished site grade** and the highest point of the **building**, whether such **building** has a flat roof, pitched roof or more than one type of roof.
(see Diagram B and bulletins INFO-26 Zoning Bylaw Amendments – Storey, Half (1/2) and Flat-roof Houses and INFO-27 Amendment to Zoning Bylaw – Building Height and Massing).

Implementation:

Should you have any questions, comments or suggestions concerning this bulletin, please contact Zoning at 604-276-4017 or Building Approvals at 604-276-4118.

See attached



Area "B" (ii) (a)

House at Flood Plain
Construction Level as below
grade at Finished Site Grade

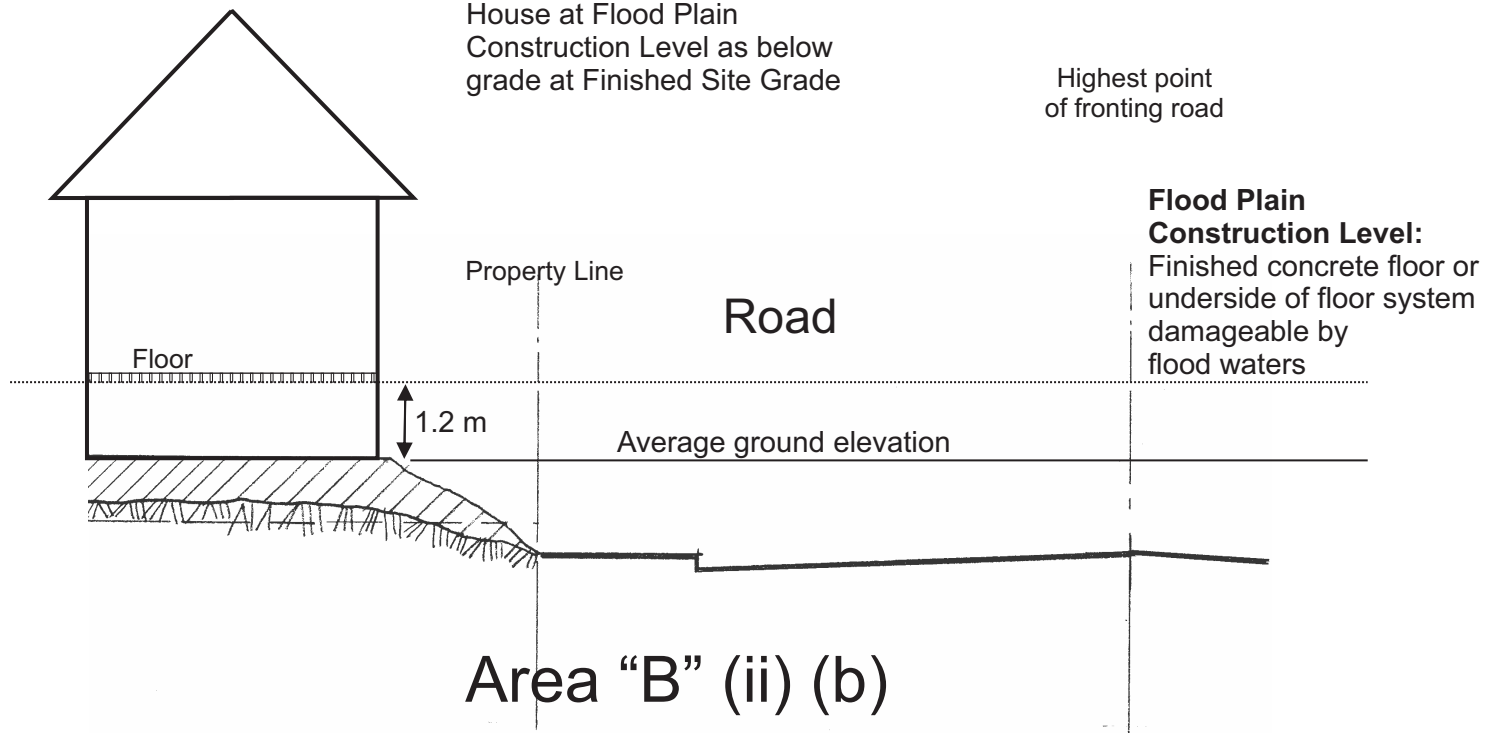
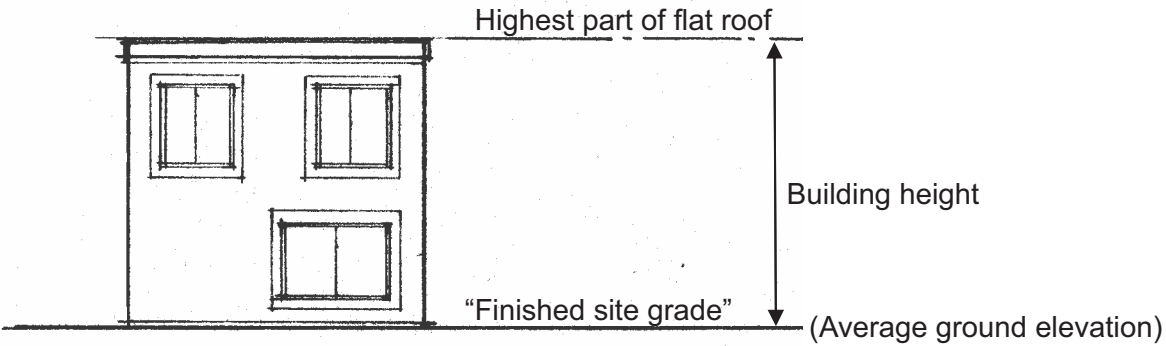


Diagram A
Finished Site Grade

Flat Roof



Sloped Roof

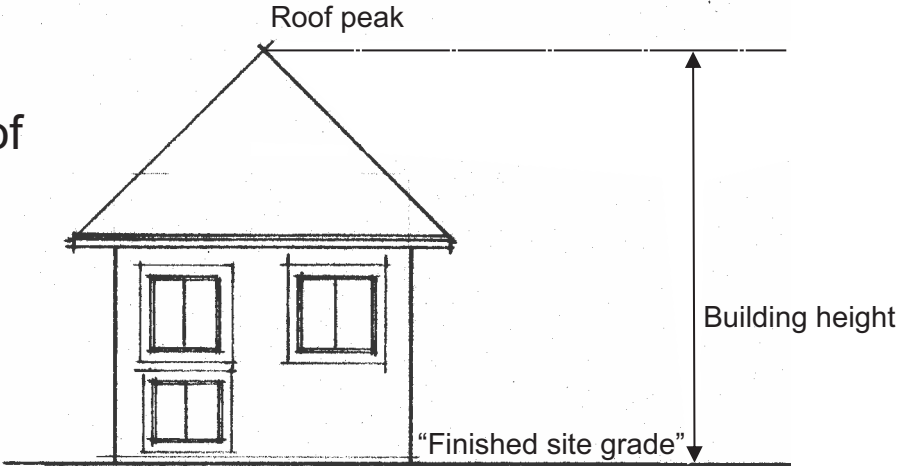


Diagram B
Building Height