



**Zoning Bylaw Amendments – Accessible  
Parking Requirements**

**No.: INFO-43  
Date: 2018-09-05**

**Purpose:**

To inform builders/owners, applicants and designers of the revised dimensions and requirements in Zoning Bylaw 8500 regulating the provision of accessible parking spaces.

**Background:**

The City adopted the bylaw amendments on September 4, 2018, at the Public Hearing, to enhance the accessibility of the public and private realm. The amendments respond to feedback from stakeholder groups, reflect best practices and better accommodate the increased use of side-loading vans for individuals using wheelchairs.

**Implementation:**

Effective immediately, the requirements apply to new developments that submit a building permit application. In-stream applications will be accommodated via the following processes:

- if a Development Permit has been issued prior to adoption of the bylaw, the owner may apply for a Building Permit in compliance with the former accessible parking requirements for the duration of the time that the Development Permit is valid; and
- if an acceptable Development Permit application has been submitted to the City prior to adoption of the bylaw, the owner will have until December 31, 2019 to apply for a Building Permit in compliance with the former accessible parking requirements.

**Accessible Parking Space Dimensions:**

“7.5.11 On-site **parking spaces** shall have the following clear minimum dimensions:

Town Housing, Apartment Housing, Mixed Commercial/Residential Uses, Affordable Housing Units				All Other Uses		
	Length	Width	Shared Aisle	Length	Width	Shared Aisle
Standard Space	5.5 m	2.5 m	-	5.5 m	2.65 m	-
Small Space	4.6 m	2.3 m	-	5.0 m	2.4 m	-
Accessible Space	5.5 m	2.5 m	1.5 m	5.5 m	2.5 m	1.5 m
Van Accessible Space	5.5 m	3.4 m	1.5 m	5.5 m	3.4 m	1.5 m
No <b>building</b> column projection/encroachment into parking spaces or shared aisle				No encroachment of <b>building</b> columns into shared aisle or <b>parking spaces</b> if columns are on both sides of a single stall		

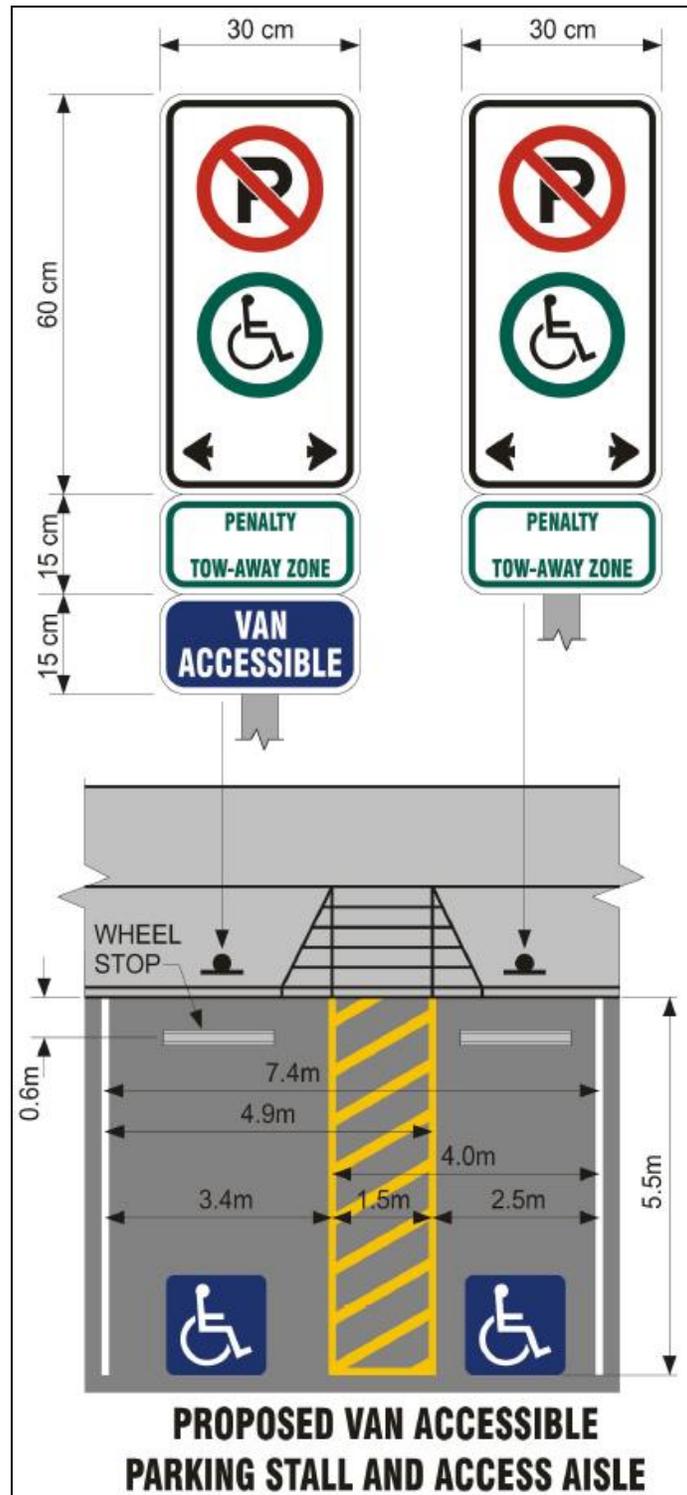
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## Accessible Parking Space Signage and Layout:

- 7.5.14 For on-site parking areas which contain 11 or more spaces, a minimum of 2% of the required **parking spaces**, rounded upward to the nearest whole number, shall be:
- (a) located close, and be accessible to the **building** entrance;
  - (b) marked with a clearly visible sign identifying the spaces for use by disabled persons only as shown in Section 7.5.14.A accompanying and forming part of Section 7.5.14;
  - (c) marked on the parking surface with the international symbol for wheelchair accessibility as shown in Section 7.5.14.A accompanying and forming part of Section 7.5.14;
  - (d) provided with a ramp located at the end of the shared aisle as shown in Section 7.5.14.A accompanying and forming part of Section 7.5.14; and
  - (e) provided in the arrangement shown in Section 7.5.14.B accompanying and forming part of Section 7.5.14.
- 7.5.15 For residential **uses** that require a minimum of three visitor **parking spaces**, a minimum of 2% of the total required **parking spaces**, rounded upward to the nearest whole number, shall be:
- (a) marked with a clearly visible sign identifying the spaces for use by disabled persons only as shown in Section 7.5.14.A accompanying and forming part of Section 7.5.14;
  - (b) marked on the parking surface with the international symbol for wheelchair accessibility as shown in Section 7.5.14.A accompanying and forming part of Section 7.5.14; and
  - (c) provided in the arrangement shown in Section 7.5.14.B accompanying and forming part of Section 7.5.14.”

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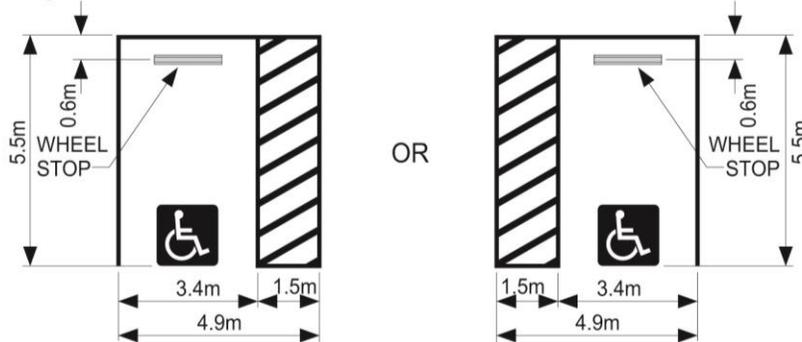
7.5.14.A



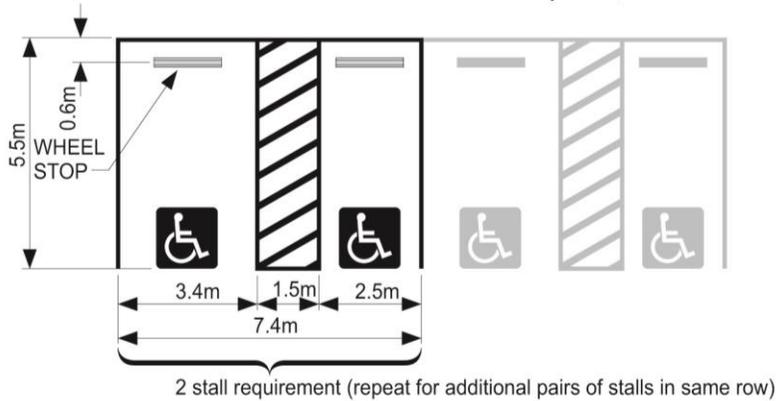
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7.5.14.B

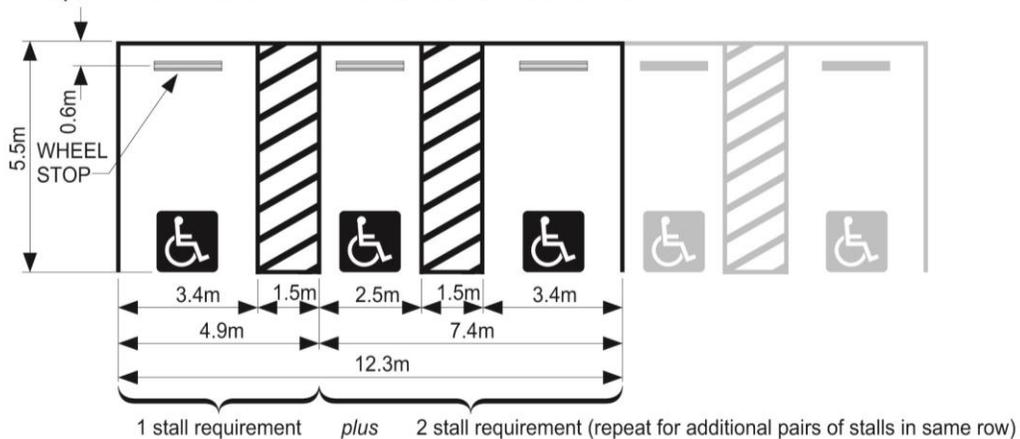
1. For one accessible stall required, such a stall shall be van accessible and have the following dimensions:



2. For two or more even number of accessible stalls required, the stalls shall be marked as:



3. For three or more odd number of accessible stalls required, a combination of requirements 1 and 2 shall be used and marked as:



**Contact:**

Should you have any questions, or comments concerning this bulletin, please contact the Transportation Department via the main City phone line 604-276-4000.

For a complete copy of *Richmond Zoning Bylaw 8500, Section 7.5*, please visit the City of Richmond website at [www.richmond.ca/cityhall/bylaws](http://www.richmond.ca/cityhall/bylaws).