



*This information is provided for clarification purposes only and is not in substitution of any applicable City Bylaws or Provincial or Federal Codes or laws. In the case of any contradictions, legislative Codes, laws or Bylaws take precedence. You must satisfy yourself that any existing or proposed construction or other works complies with such Bylaws, Codes, applicable Acts, regulations, and decisions and orders of any person or body having jurisdiction over the Lands.*

## Zoning Bylaw 8500 – Live Landscaping Requirements for RS1 and RS2 Zones

**No.: INFO-35**  
**Date: 2017-10-20**  
**Revised: 2021-07-05**

**This bulletin is to inform owners, builders, and designers of the requirements in the Zoning Bylaw regulating live landscaping requirements for single family dwelling developments in RS1 and RS2 Zones.**

### Front Yard, Site Coverage, and Live Landscaping Requirements

In the residential zones RS1 and RS2 and site specific zones that govern single detached housing, the owner of the property is responsible for the placement and proper maintenance of landscaping.

Front yard:

- For a lot with a lot width less than or equal to 15m, live landscaping is to be provided covering a minimum of 50% of the required front yard.
- For a lot with a lot width greater than 15m, live landscaping is to be provided covering a minimum of 55% of the required front yard.
- For an irregular shaped lot, the City shall determine the minimum area required for live landscaping, having regard to the area required for a paved driveway or walkway, to provide access to garage or house, and shall be located so as to maximize its functionality by ensuring its proper location in relation to buildings, sunlight, parking, an other site factors.

Site Coverage and Live Landscaping Requirements:

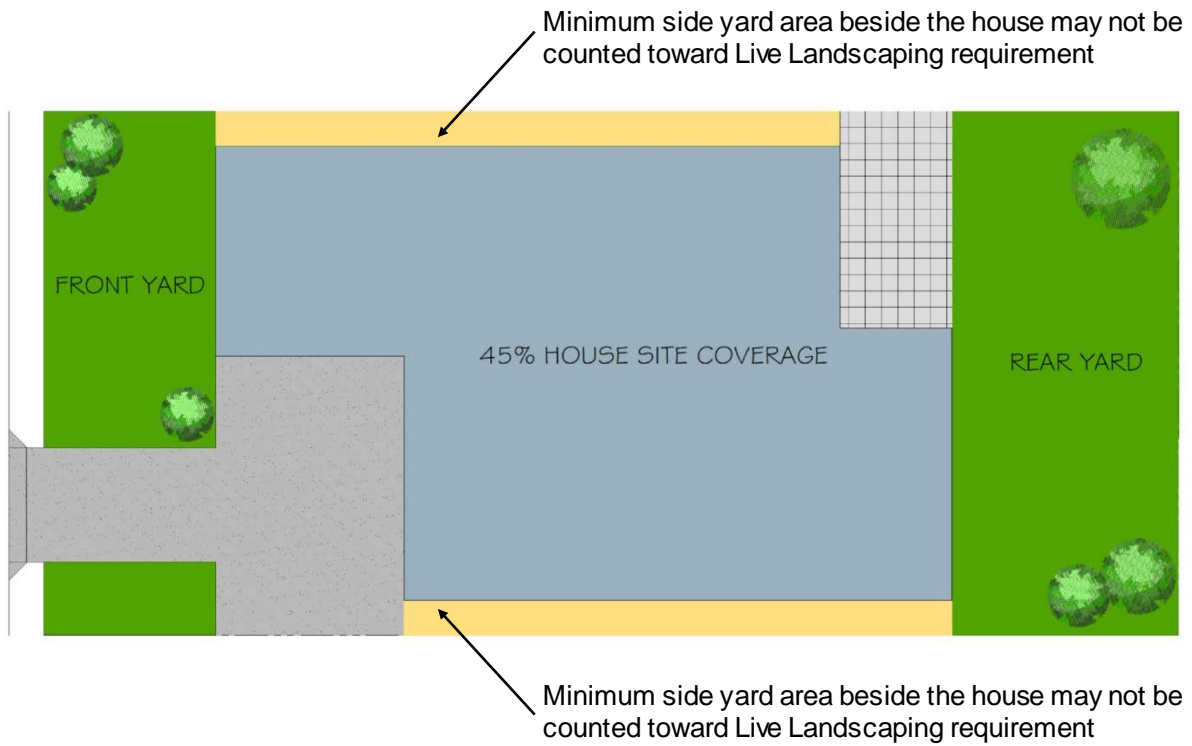
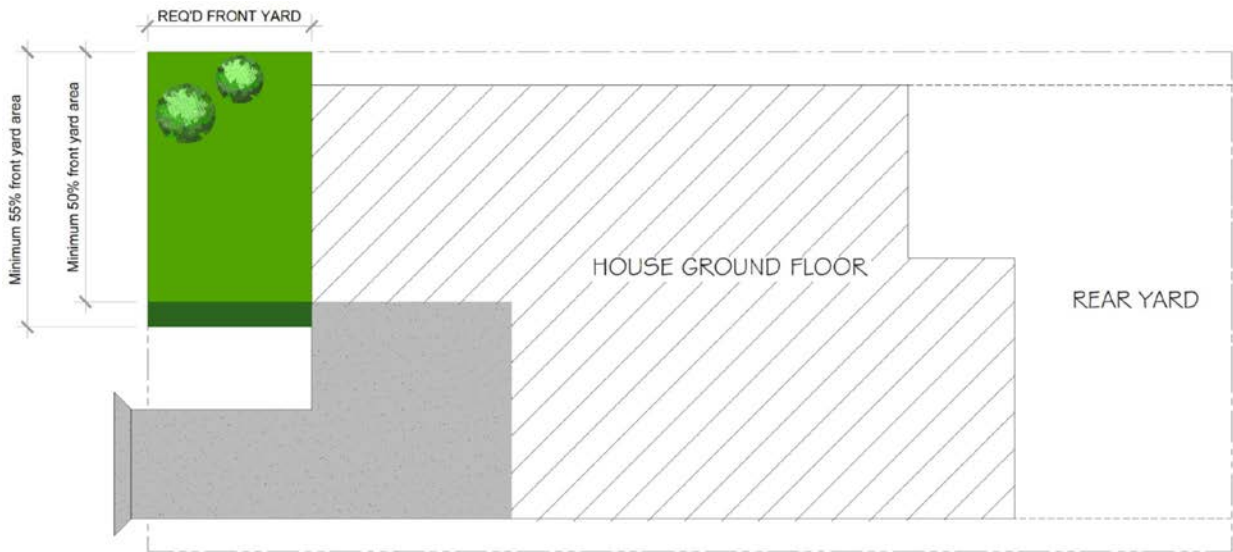
- 45% of the lot may be covered by buildings; plus 25% by hard surfaces (driveways, walkways, etc.) for a total site coverage of 70%.
- The zoning bylaw currently sets out a minimum area for live landscaping which varies depending on the zoning of the property:
  - a) 20% on lots zoned RS1/A or K, RS2/A or K;
  - b) 25% on lots zoned RS1/B, C or J, RS2/B,C or J; and
  - c) 30% on lots zoned Rs1/D, E, F, G or H, RS2/D, E, F, G or H.
- **However**, any minimally required side yard area adjacent to a house is excluded from the calculation of percentages of the lot area restricted to landscaping with live plant material.

Please see the City of Richmond Zoning Bylaw 8500 for additional information.

See over →

## Plan View, Typical Rectangular Lots

Front yard area = lot width (w) x 6 m or minimum required front yard setback.



See over →

## Plan View, Irregular Lots

Live landscaping requirement in front yards uniquely determined by the Building Approvals Department.



## Tree Planting Requirements

On a lot that is subject to a building permit application for single detached housing which contains no existing trees at the time of building permit application, a minimum of two (2) trees – one (1) in the required front yard and one (1) in the required rear yard, must be planted as a part of a building permit.

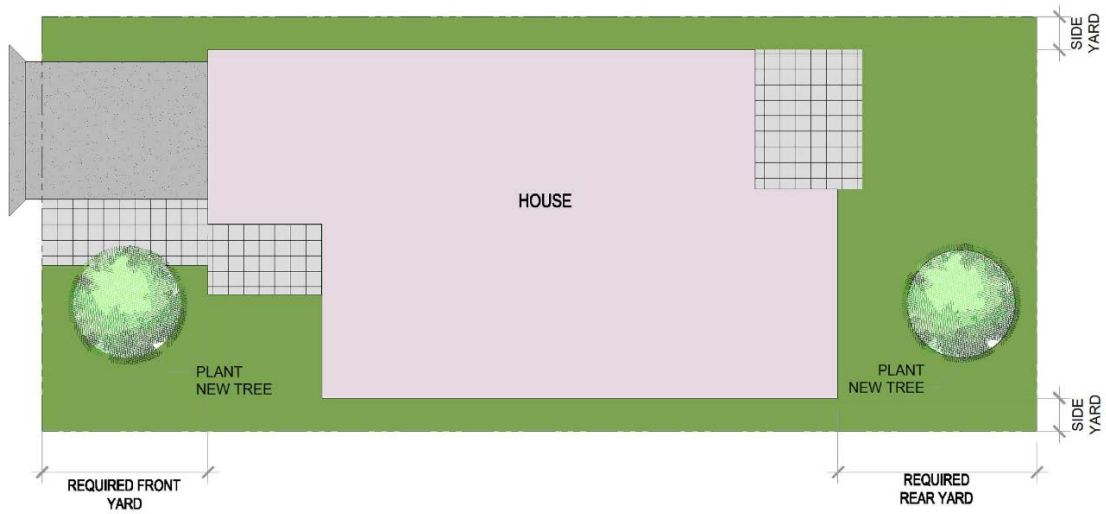
At the complete of construction, 2 trees at a minimum will be provided as part of the landscape requirement. Minimum tree size as per Schedule A of the Tree Protection Bylaw 8057:

- Deciduous trees are to be a minimum 8 cm caliper;\*
- Coniferous trees are to be a minimum of 4 m in height

\*Caliper is the diameter of the trunk measured at 15 cm above the ground.

See over →

## Example, Typical Rectangular Lot



Should you have any questions, comments, or suggestions concerning this bulletin, please reference the Bulletin number and email [building@richmond.ca](mailto:building@richmond.ca) or call the Building Approvals General Inquiries line at 604-276-4118.