

Richmond Official Community Plan

EAST CAMBIE AREA PLAN

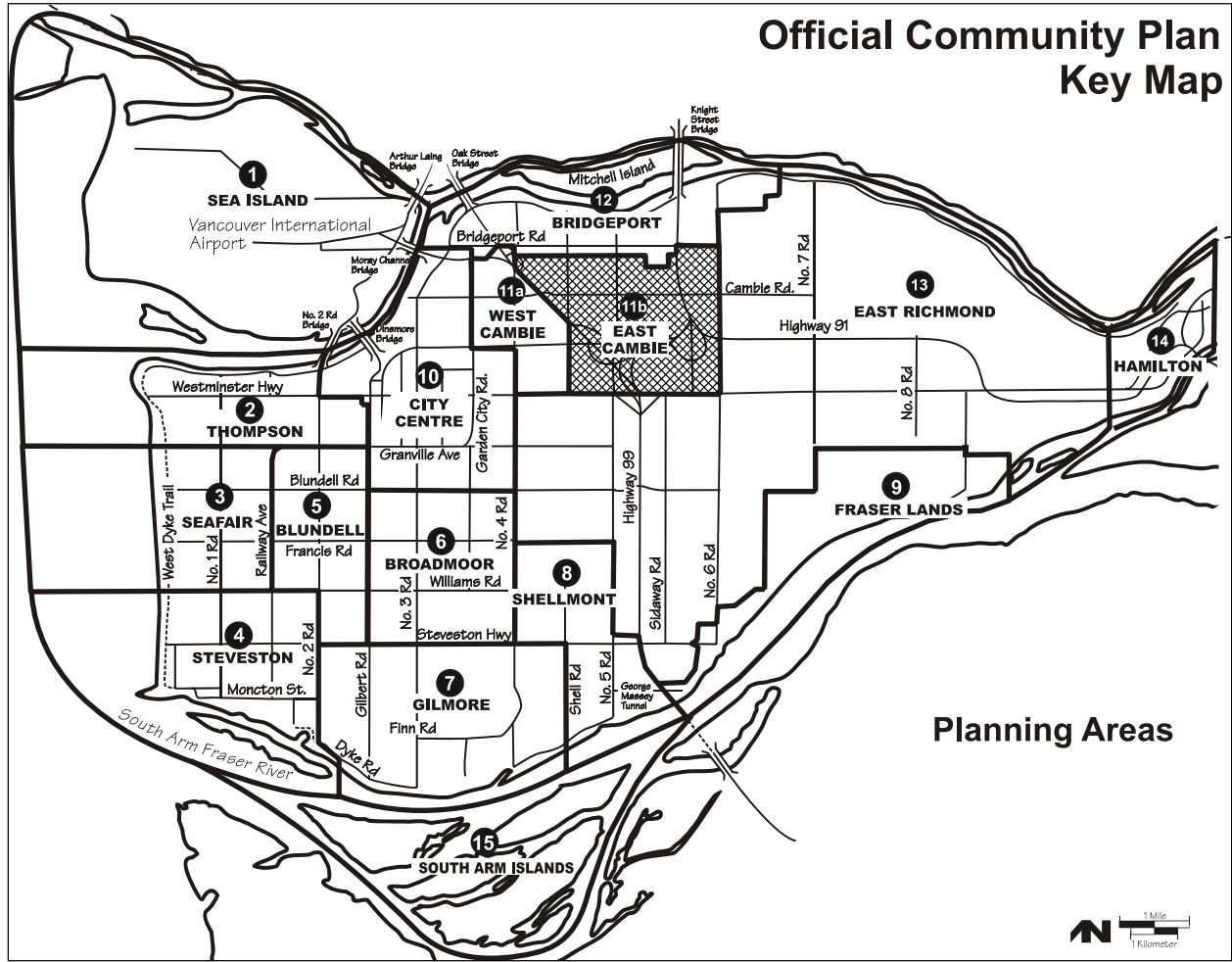
Bylaw 7100 Schedule 2.11B



City of Richmond



KEY MAP



PLAN AREA MAP

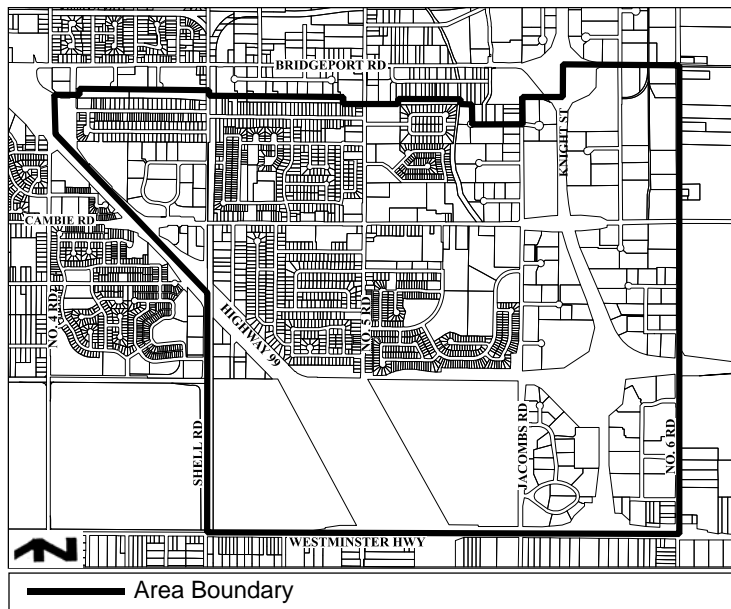


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PLAN INTERPRETATION

What is the Official Community Plan (OCP)?

The OCP is a legal community planning document for managing the City's social, economic, land use, servicing and environmental future. It sets out a vision, goals, objectives, and policies that reflect overall community values that have been determined through a public consultation process.

How is the Plan organized?

The OCP (Bylaw 7100) is comprised of:

- 1) Schedule 1: the overall OCP;
- 2) Schedule 2: Area Plans and Sub-Area Plans.

Area Plans refer to the 15 areas that have been identified within Richmond for planning purposes (see Key Maps).

Sub-Area plans refer to smaller localized areas within specific planning areas.

The OCP addresses broad city wide issues while the Area Plans and Sub-Area Plans address local neighbourhood issues.

Plan Precedence

If there is a conflict with respect to a land use designation between the OCP Generalized Land Use Map and Area Plan Land Use Maps, the Area Plan Maps shall take precedence with the exception of sites designated Conservation Area or Environmentally Sensitive Area (ESA) in which case readers should check Schedule 1 as it takes precedence over this plan.

Changes to this Document

This Plan may be amended from time to time. Please check with the City's Urban Development Division to make sure that this is an up-to-date version containing all of the adopted amendments.

Definitions

See OCP Schedule 1.

1.0 PLAN OVERVIEW

1.1 PURPOSE

This Plan applies to the area shown on the Plan Area Map.

Areas such as East Cambie present a real challenge to decision-makers because of the uniqueness of the area and the complexity of issues. Current land uses in East Cambie have been influenced to a large extent by the Vancouver International Airport and the community's accessible location to the major highway system.

The completion of the Annacis Bridge and its connecting Richmond Freeway further improved the accessibility of the East Cambie Area. This has resulted and will continue to result in new residential construction in some areas of East Cambie, better employment opportunities in other areas and improved services overall.

Residential projects are anticipated along some of the major roads. It is anticipated that these projects will be at either townhouse or apartment densities.

The plan recognizes the major role industry has played in East Cambie and establishes policies to maintain and improve Richmond's economic well-being as well as fostering more compatible co-existence between industrial and residential land uses.

Details on land use, services and the environment are discussed under the appropriate headings in this document.

The area plan for East Cambie sets out an overall vision. From this a series of achievable and realistic goals covering basic issues and categories of land use are formulated which together will attain the goal. Specific policy statements are detailed which set out the way in which Council could achieve the objectives. The plan is capable of being amended by Council from time to time in response to the unique needs of the East Cambie Area.

1.2 VISION

To guide the future development of the East Cambie planning area in ways that foster compatibility with adjacent land uses, while recognizing and respecting the area's special locational advantages, the region's major transportation networks, and the area's proximity to Vancouver and to the Vancouver International Airport, and ensuring the continuation of residential neighbourhoods capable of supporting a range of social, recreational and business services.

1.3 GOALS

1. To promote and support opportunities that improve the overall quality of life in the East Cambie Planning Area.
2. To create and maintain a distinct boundary between agricultural and non-agricultural lands.
3. To maintain and improve the opportunities for commercial development to meet the shopping needs of East Cambie residents.
4. To accommodate land uses that are highly automobile-oriented and can benefit from direct access to the major highway system.
5. To attempt to increase industrial job opportunities in designated industrial areas in the East Cambie Planning Area.
6. To promote and support opportunities for City parks, open space, recreation, environment, and heritage preservation, consistent with overall City objectives.
7. To improve transportation access to facilities and services while minimizing the social and environmental impacts of traffic, particularly within the residential neighbourhood.

2.0 JOBS & BUSINESS



Richmond Auto Mall

ISSUE:

The principal community commercial area is located at the south-west corner of Cambie Road and No. 5 Road.

OBJECTIVE 1:

To maintain and improve the opportunities for commercial development to meet the shopping needs of East Cambie residents.

POLICIES:

- a) Allow for the expansion of the No. 5 Road and Cambie Road commercial centre as shown on the Land Use Map;
- b) Retain the existing smaller commercial centres for local convenience shopping;
- c) Ensure that development permits, where required, conform to adopted guidelines.

ISSUE:

The East Cambie Area is one of Richmond's major employment centres. It is estimated that over 10,000 jobs are located in it. The East Cambie Planning Area has the locational advantage of having direct access to the major highway system and the Vancouver International Airport and therefore various locations are very suitable for highway related uses such as motels and hotels.

OBJECTIVE 2:

To accommodate land uses that are highly automobile-oriented and can benefit from direct access to the major highway system.

POLICIES:

- a) Encourage highway related commercial development in areas at access points to Highway 99;
- b) Ensure that the designation of new commercial centres is consistent with the ability of the City to provide the necessary improvements to services and roads;
- c) Ensure that all new highway related commercial centres have convenient and adequate access to Highway 99;
- d) Allow new or expansion of commercial development as shown on the Land Use Map.

ISSUE:

The East Cambie Planning Area has developed in part, as an industrial area. In 1985, about 200 ha (500 ac.) of the East Cambie Planning Area were zoned for industrial purposes. Industrial development has concentrated in three areas, the Voyageur Way area, the Vanguard Road area, and the Crestwood Industrial Estate.

OBJECTIVE 3:

To attempt to increase industrial job opportunities in designated industrial areas in the East Cambie planning area.

POLICIES:

- a) Allow the development of industrial areas as shown on the Land Use Map;
- b) Require and regulate the provision of screening or landscaping to mask separate uses as shown on the Land Use Map;
- c) Phase new industrial development to reflect the ability of the City to provide the necessary improvements to services and roads;
- d) Ensure that development permits, where required, conform to adopted guidelines.



High Tech Industry

ISSUE:

Agricultural Land Reserve

As outlined in the Official Community Plan, the City is committed to protecting the supply of agricultural lands and to ensuring the viability of farm operations.

The Cambie East Planning Area abuts the Agricultural Land Reserve along No. 6 Road and Westminster Highway. Additionally, the Nature Park is located within the boundaries of the ALR. Developments in these areas should refer to the Policies, Objectives and Development Permit Guidelines for Agriculture outlined in the Official Community Plan.

OBJECTIVE 4:

To create and maintain a distinct boundary between agricultural and non-agricultural lands.

POLICIES:

- a) Use major section roads or rail right-of-ways as a buffer between urban and rural land uses where feasible.

3.0 NEIGHBOURHOODS & HOUSING

ISSUE:

Residential land use policies have been developed in response to the community's desire to ensure that the East Cambie Area remains a viable residential neighbourhood.

OBJECTIVE 1:

To designate for residential use areas that are compatible with overall City objectives.

POLICIES:

- a) Permit residential infill on vacant or under-utilized land which may include such housing types as single-family or multiple-family and conforms to the general character and form of the neighbourhood;
- b) Require and regulate the provision of screening or landscaping to mask and separate land uses and from highways;
- c) Allow residential development as shown on the Land Use Map;
- d) Designate all multiple-family residential sites as Development Permit Areas.

*Bylaw 7794
2004/11/23*



Screening Land Uses along the Highway

4.0 TRANSPORTATION

OBJECTIVE 1:

To improve transportation access to facilities and services while minimizing the social and environmental impacts of traffic, particularly within the residential neighbourhoods.

POLICIES:

- a) Provide safe and convenient pedestrian movements across major arterial roads and along all newly-constructed or upgraded roads;
- b) Develop, maintain and improve a hierarchical network of all classes of roads to provide efficient and direct vehicular access to and from the East Cambie Planning Area, and to ensure good circulation within the East Cambie Planning Area;
- c) Reduce the number of through traffic trips on residential streets in the East Cambie Area;

- d) Accommodate smooth traffic flows on arterial streets by improving arterial capacities wherever possible;
- e) Ensure that all commercial and industrial developments have adequate parking, traffic circulation and access routes;
- f) Restrict on-street parking on major arterial roads;
- g) Provide adequate access points along major arterial roads as redevelopment occurs;
- h) Increase the availability of bicycling paths through the East Cambie Area;
- i) Mitigate against the negative impacts of the east-west freeway;
- j) Support the commercial bus shelter program to provide covered seating areas for all key bus stops in the East Cambie Planning Area.

5.0 NATURAL & HUMAN ENVIRONMENT



Cambie Community Centre and School

ISSUE:

Open space areas within the East Cambie Area are primarily divided into four categories:

- a) Buffer strips;
- b) Trails;
- c) Natural open space lands;
- d) Park and recreation lands.

The East Cambie community has a need for active and passive recreational space that fulfils several purposes such as providing some visual relief, allowing natural areas to be used for the study of nature, providing appreciation for our heritage, and appreciating the ecological diversity of the area.

OBJECTIVE 1:

To promote and support opportunities for City parks, open space, recreation, environment, and heritage preservation, consistent with overall City objectives.

POLICIES:

- a) Improve existing parks for use by all age groups;
- b) Expand existing school/park sites where reasonable to do so;
- c) Retain and expand the principal community park on its present site of King George Park;

- d) Conserve the Richmond Nature Park as a bog environment;
- e) Ensure that drainage improvements to the area surrounding the Richmond Nature Park do not adversely affect the water levels of the park;
- f) Protect, preserve and develop Bath Slough as a natural watercourse;
- g) Encourage the development of public recreation lands as indicated on the Land Use Map;
- h) Encourage the Richmond School Board to conserve the Mitchell School buildings as heritage structures;
- i) Improve pedestrian accesses at mid-block locations;
- j) Improve pedestrian connections from Mitchell Elementary School to the Greenland Drive subdivision;
- k) Provide a continuous pedestrian and bicycle trail system for recreational purposes from the East Cambie Planning Area to the Middle Arm dyke.

ISSUE:

A need for an increase in the level of community facilities and services can be expected. In most areas of Richmond community services include: education, public safety services such as police and fire protection, leisure services, health care services, childcare, social services, public administration, and religious facilities.

OBJECTIVE 2:

To promote and support opportunities that improve the overall quality of life in the East Cambie planning area.

POLICIES:

- a) Support and, wherever possible, work co-operatively with other agencies and other levels of government to maintain and improve the level of community social services to East Cambie Area residents;
- b) Continue to encourage the improvement of the educational services to East Cambie Area residents;
- c) Continue to support the development of Mitchell School as a community school;
- d) Support the extension of a branch library into the East Cambie Area;
- e) Encourage the expansion of childcare services in the East Cambie Area;
- f) Encourage the establishment of social, recreation and other programs in the East Cambie Planning Area to adequately serve the population;

- g) Encourage the development of new space for community services in public and private developments.

6.0 COMMUNITY FACILITIES & SERVICES

See OCP.

7.0 CITY INFRASTRUCTURE

OBJECTIVE 1:

To improve the standard of public utilities and services.

POLICIES:

- a) Ensure the provision of efficient utilities necessary for the health and safety of the community;
- b) Upgrade the level of services, such as sanitary sewers, storm sewers, sidewalks, street lighting in older subdivisions, through such mechanisms as local improvement bylaws;
- c) Phase new development to take account of current land use and utility constraints;
- d) Provide the necessary improvements to fire protection services concurrent with population expansion;
- e) Encourage all new development to be constructed in a manner that will provide adequate flood protection as determined by the responsible authorities.

8.0 DEVELOPMENT PERMIT GUIDELINES

See OCP

Land Use Map *Bylaw 8807
2011/10/17*

